

From the Linear Park TO THE CENTRAL PARK

The BIG IDEA is to expand the Central Park into the linear park as it was conceived by Frederick Law Olmstead Jr. in 1908. To achieve this task, the Central Park needs to grow from its present western limits at Broadway to 9th Street, and in the process incorporate all remaining and new elements into a new Central Park. An expanded Central Park means an expanded Civic Heart of Boulder. A major move is the tradeoff of the high hazard area volume by creating a flood control pond in lieu of developable land. The pond will increase the riparian biome (lands) by adding 1,500 feet of waterfront and 1.4 acres of surface water and will be used as a recreation amenity with the underlying principle that its practical function is flood management. The band shell will be relocated to the west under a wire dome that increases audibility and prevents noise pollution; seating area will be increased to four times its present capacity to 50,000 square feet. The Vocum Building will be moved next door to the BMOCA to help define the eastern edge of the Central Park. A new sculpture garden will front Canyon Boulevard. The farmers market will be relocated in a new and permanent open-air structure under a 40,000 square-foot roof along Arapahoe Avenue; the design repurposes the roof of the Atrium building. The Broadway Bridge will be replaced with a signature bridge that will increase head-room below the bridge to create a sense of place at the divergence of the Farmers Ditch. A street car connecting the Hill to the 9th Street Mall will cross the new bridge and will be housed at one of the multi-use buildings at the eastern end of Central Park. Buildings and parking removed from the hazard zone will be replaced by new buildings and structured parking on safer grounds. An increased and widened network of paths will complete and connect Central Park with the linear park and the rest of the City.



Frederick Law Olmstead Jr.

The original 1908 Glenn Huntington Band Shell will be relocated in front of a lawn and sitting area between the library and the Municipal Building along Canyon Boulevard. As the original designers of the band shell who draw inspiration from Grant Park in Chicago, the new design takes inspiration from the Pritzker Band Shell cover in Chicago's Millennium Park. The historic band shell will be elevated five feet and an extended stage will increase the performing area by 2,500 square feet. A service building of contemporary architecture designed to highlight the historic landmark will flank the original band shell to provide an additional 1,500 square feet for a green room and ancillary spaces. The sitting area and lawn will be covered with a wire dome where directional speakers and lighting will be suspended; this assembly prevents noise pollution outside the band shell and maximizes the audible experience throughout.

The current bridge at Broadway will be replaced with a signature bridge characterized by two actions: 1) increase the head room under the bridge by elevating the crown of the bridge by ten feet, and 2) separate north and south bound lanes on two different sections of the bridge. These two improvements will increase the space and the light under the bridge thus helping to create a better ambience and a sense of place. The bridge will have a gradual slope at no more than 4 percent to allow for the easy travel of the streetcar on the bridge. Pedestrian and bicycle traffic will be separated from the signature bridge leaving them to have the experience of crossing the creek at the park level.

Canyon Boulevard between Broadway and 19th Street will be fronted by a world-class sculpture garden that runs the length of the block, about 300 feet. Many great cities have sculpture gardens, Paris has the Rodin Museum Sculpture Gardens, New York has the Secretes Sculpture Park in Queens, Baltimore has the Baltimore Museum of Art Sculpture Garden, and so on. This proposal draws inspiration from a 1993 installation of Fernando Botero's sculptures in Grant Park, Chicago, which lined the art along Michigan Avenue in a rhythmic sequence. In Boulder's Central Park, the sculpture garden will have a similar spacing and will be in a 15,000 square feet crushed gravel plaza. The Denver & Rio Grande Western caboose #4950 will remain in its present location and will play a complimentary role to the new sculpture garden.

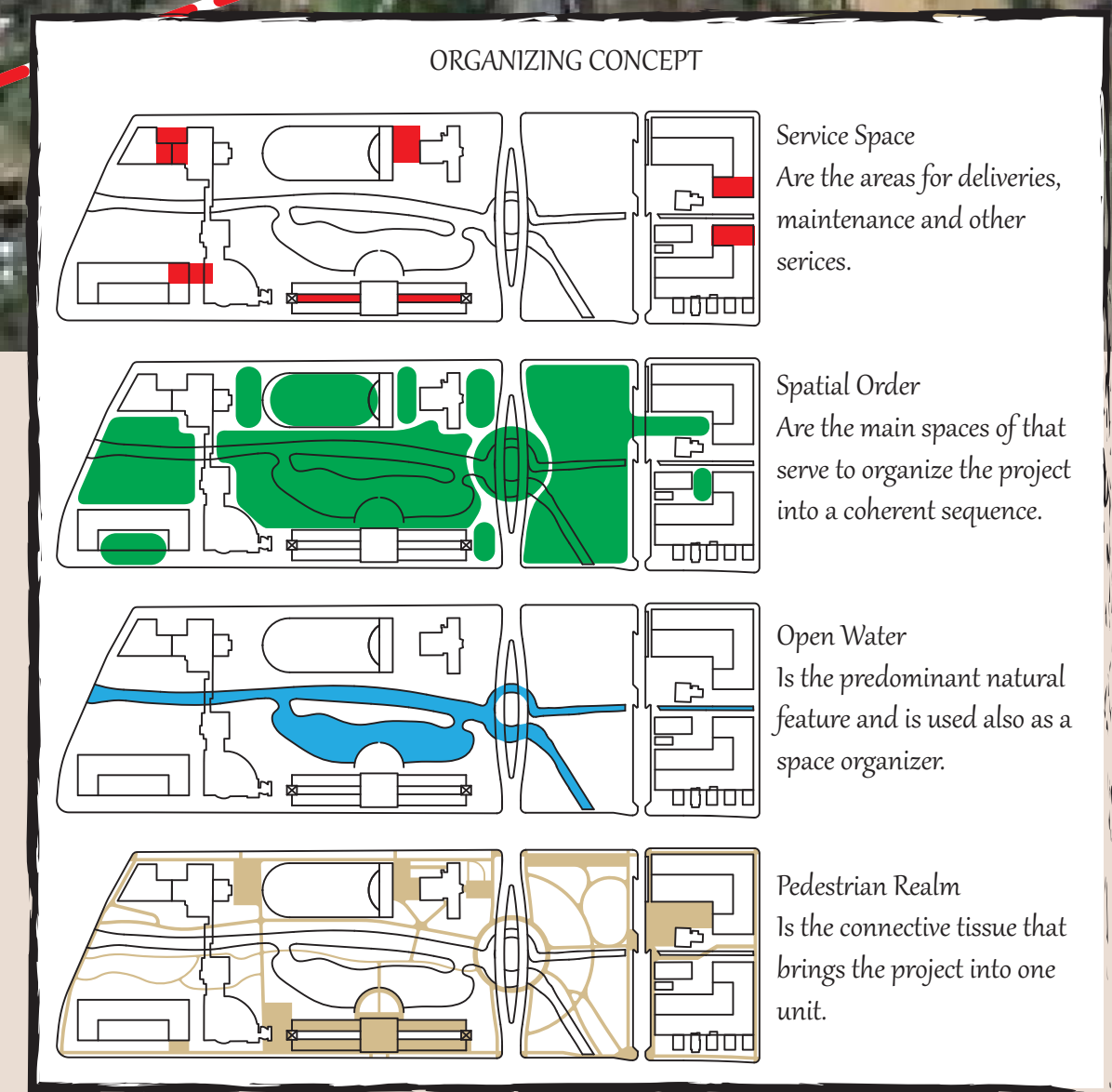
19th Street will remain a cultural and social node for Boulder County; the street form will not change and it will continue as an extension of the new farmers market and the center of cultural events such as art and health festivals. The BMOCA will have a new neighbor: the relocated Vocum Building, formerly at 1724 Broadway. The plaza currently between the Dushinsky Teahouse and the Atrium Building will remain and a new smaller plaza will extend from the rear of the BMOCA building. New buildings lined with storefronts will flank the corners and will provide active uses that enforce the use of the space that supports the economy.

The new building on Canyon Boulevard and 14th Street will be a multi-use building combining the streetcar maintenance facility and streetcar storage in a double-height 35,000 square foot space, 6,000 square feet of retail fronting on 19th Avenue, structured parking for 50 cars, 60,000 square feet of office space. The parking demand of the office space is satisfied by the parking provided in the block. The design for this block counts on amending the limits of the high hazard area with the creation of a flood control pond in Central Park; the building will be raised above this datum, and because of this, underground parking is not contemplated.

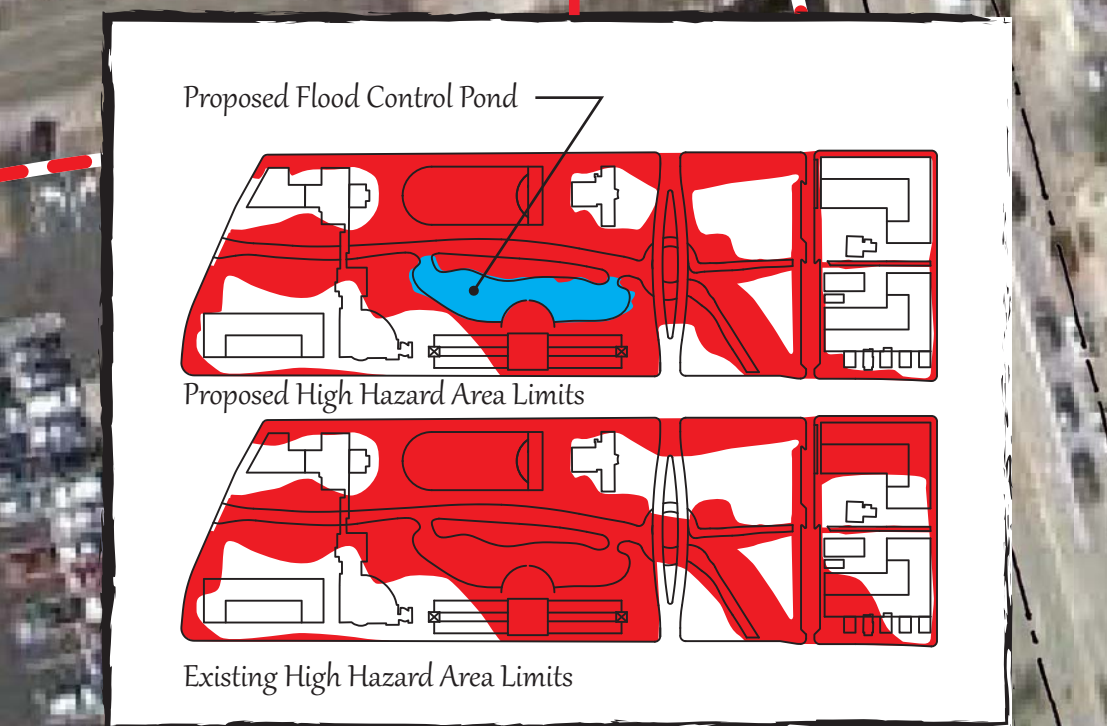
The Boulder Public Library will increase its space by 22,000 square feet in a two-story addition to the west of the north wing, located at the corner of 9th Street and Canyon Boulevard. The ground floor of the addition will be used for library support space and service space assisted by a loading dock with access from south-bound Canyon Boulevard. The upper level can be used for reading rooms and the general collection as well as for meeting space. The roof of the facility will be equipped with solar photovoltaic panel for electricity generation.

	Public	Office	Retail	Res.	Ind.	Parking
Areas in square feet						
Existing Buildings						
Senior Center	(16,380)					(54)
The Atrium	(12,302)					
FAM & Conference	(5,750)					(246)
Park Central	(20,300)					
New Britain	(13,851)					
1724 19th St.	(1,750)					
1720 19th St.	(1,183)					
Vocum Building	(15,800)					
Arapahoe Court	(2,083)					
The Edge	(2,083)					
1321 Arapahoe	Change use					
1327 Arapahoe	Change use					
1331 Arapahoe	Change use					
1333 Arapahoe	Change use					
1705 14th Street	Change use					
Other Parking						(315)
Sub Total	(82,000)	(37,958)	(6,857)	(8,740)		(820)
New Buildings						
14th & Canyon	60,000	6,000				90
14th & Arapahoe	40,000	7,200	6,000			300
10th & Arapahoe				60,000		250
Library	22,000					
Sub Total	122,000	13,200	12,000	60,000		640
Balance	40,000	5,750	5,141	91,240		15

A new mixed-use building at the location of the former West Boulder Senior Center will provide 250 new parking spaces, 40,000 square feet of office/commercial space, and 50 dwelling units in the top two floors. As in all new buildings, sustainability measures will be encouraged to best utilize roof areas for solar photovoltaic arrays for local use of energy. Because the location of this building is out of the high hazard zone, some of the parking will be underground taking advantage of the natural slope of the site. A 12,000 square-foot south-facing terrace can save the new program for the senior center or can be incorporated into the residential use.



The new farmers' market will repurpose the roof of the Atrium Building to create the central piece of the new facility. The repurposed roof will be aligned with 19th Street to create a focal point from South views and will be the organizing element of the new pond on the other side to the north. The Atrium Building roof will be flanked by two pavilions that can hold up to 58 small trucks or vans each for farmers to backup and download their produce. The roof of the pavilions will match the pitch of the Atrium Building roof but will not surpass it in height; two notches will be open to indicate access and to provide head room for delivery vehicles to enter. The East and West ends will be terminated with matching towers to indicate both termini of the building. The building will be to the greatest extent possible an open air structure where views across the building at the eye level will bring the park into the neighborhood.



The high hazard area, determined by an extreme flood event of Boulder Creek, will be amended by two actions: 1) creating a flood control pond along the channel of the creek (1.4 acres), and 2) raising the ground of new buildings in the hazard area (1.4 acres). The pond is a catalytic element for making the new Central Park an iconic urban landscape; it will also mitigate the effects of floods by providing an additional 1,500 feet of waterfront (shore) and 1.4 acres of surface water. The volume of potential flooding will be greater than the volume displaced by the new buildings; for instance, three extra feet of water in the pond area equals one and a half million gallons of water that could be prevented from downstream. The pond will be equipped with six weirs to regulate the water while the current is moving slow. The south of the pond will be a wading beach that could be used for recreation and for launching and taking out kayaks or other personal non-motorized navigation equipment. There will be a bridge connecting foot traffic from the farmers' market to the island created by the new pond where the existing trail system continues.

Central Park expands under the new Broadway Bridge; the park's layout recovers some of the City Beautiful movement landscape characteristics: five sinuous paths that create defined meadows and groves and an overall sense of place in the park. As a general rule all paths will be 10 feet wide and will always connect to at least other two paths. The underpasses at 9th Street and Arapahoe Boulevard connecting to the linear park will be preserved, and the two creek crossings will be maintained. A desirable place to be at the divergence of the Farmers Ditch will be created by lifting and separating the bridge above. The divergence will be re-engineered to allow more distance for the ditch to separate from the creek in elevation; this will help better managing the flow of the ditch and will minimize flooding impacts. A ring path will connect pedestrian-like traffic along Broadway with the rest of the circulation system; pedestrians and bikers traveling along Broadway will remain at the park level for an enhanced experience. The plazas in front of the library and the Sister City Plaza in front of the Municipal Building will remain. The perimeter of the park will be characterized by continuous tree-lawns and detached sidewalks, except for existing bridges at 9th Street and Arapahoe Avenue. As it is customary to parks in this style, sculptures will be located throughout. Other facilities such as restrooms and information kiosks will be co-located at the new farmers' market structure, the band shell and other permanent structures in the park.

The new building on Arapahoe Avenue and 14th Street will not come all the way to the Arapahoe street front, instead it steps to allow for some of the historic residential buildings to remain and preserve the original scale of Arapahoe Avenue. Because not all buildings on the street deserve preservation, some new buildings of the same scale will complete the streetscape composition. This building is a mixed-use arrangement including 6,000 square feet of retail, structured parking for 50 cars (some of those displaced by the Central Park expansion), and 60,000 square feet of residential for approximately 40 dwelling units. The smaller buildings on Arapahoe Avenue can be used for commercial or office space and amount to 7,200 square feet. The area of this building that used to be in the high hazard area will be raised above an amended limit. There will be no underground parking.

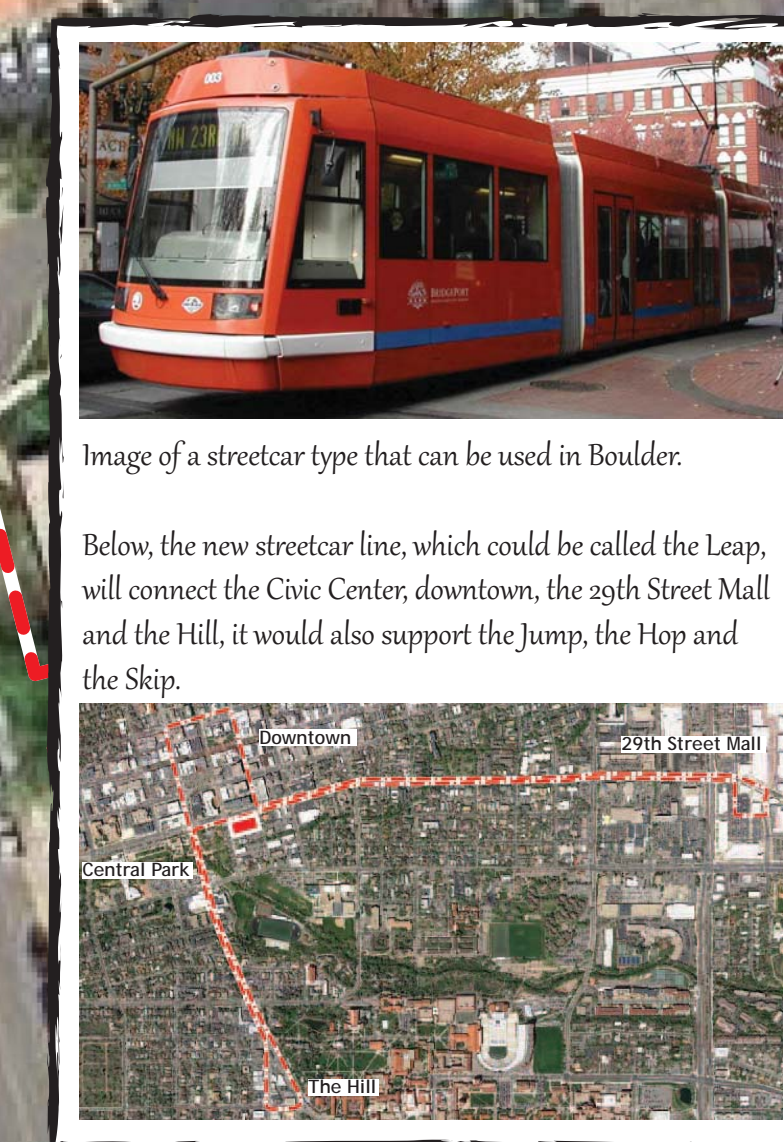


Image of a streetcar type that can be used in Boulder.



Below the new streetcar line, which could be called the Leap, will connect the Civic Center, downtown, the 29th Street Mall and the Hill, it would also support the Jump, the Hop and the Skip.

